

630 4TH AVE S APARTMENTS

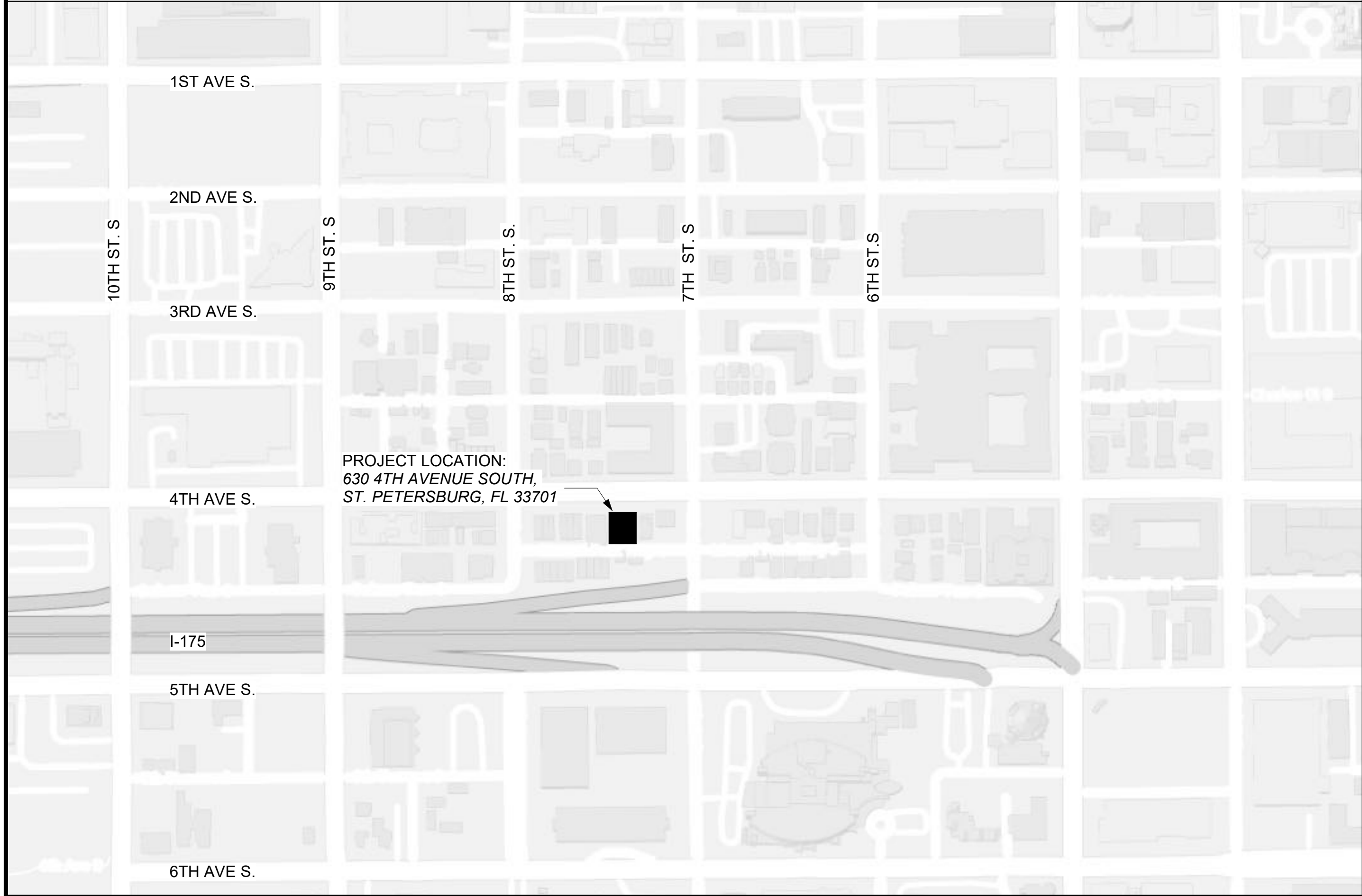
630 4TH AVENUE SOUTH, ST. PETERSBURG, FL 33701

PERMIT SET

PROJECT RENDERINGS



PROJECT LOCATION



BUILDING DATA

ZONING

1. ZONING DISTRICT
DC-2 (DOWNTOWN CENTER)

2. DEVELOPMENT POTENTIAL
BONUS APPROVAL, STREAMLINE (FAR) GREATER THAN 3.0 AND EQUAL TO OR LESS THAN 5.0 REQUIRED

3. MASSING & FORM:
SETBACKS ALONG STREET, EXCLUDING ALLEYS
0 TO 50 FT HIGH: 0 FT.
ABOVE 50 FT: 10 FT.
EXEMPTIONS: WHEN BUILDINGS HAVE A FIRST FLOOR PLATE OF LESS THAN 16,000 SQ. FT., THE 10-FOOT SETBACK ABOVE 50 FT IS NOT REQUIRED.
DISTANCES BETWEEN BUILDINGS:
A. BLANK WALL TO BLANK WALL, UP TO 50 FT. HIGH - 0 FT.
B. WINDOW WALL TO WINDOW WALL UP TO 50 FT. HIGH - 15 FT.
C. ALL CONDITIONS 50 FT. TO 200 FT. HIGH - 60 FT.
EXEMPTIONS:
FOR BUILDINGS WITH CONDITIONS ABOVE 50 FT. ON LOTS OF RECORD WITH AN AVERAGE LOT WIDTH EQUAL TO OR LESS THAN 120 FT., THE PROPERTY SHALL QUALIFY FOR A REDUCED MINIMUM INTERIOR BUILDING SETBACK FROM EACH INTERIOR, SHARED PROPERTY LINE. THE REDUCED SETBACK SHALL BE EQUAL TO 25% OF THE LOT WIDTH. THE SETBACK, WHICHEVER IS GREATER, THIS SETBACK SHALL BE MEASURED FROM THE INTERIOR, SHARED PROPERTY LINE.
THIS PROJECT IS PERMITTED THE ADDITIONAL, 12-FEET IN HEIGHT PLUS THE 50-FOET BEFORE THE DISTANCE BETWEEN BUILDINGS. MEASURED AS THE FIRST FLOOR PROVIDES FOR OVER 50% OF PARKING.
SETBACK PROVIDED FROM PROPERTY LINE (MEASURED TO FACE OF STRUCTURE UP TO 62' FT.)
-0'-4" ON NORTH STREET FACING SIDE (0'-0" REQUIRED)
-7'-6" ON WEST AND 7'-0" ON EAST (7'-0" REQUIRED)
-10'-0" ON SOUTH (0'-0" REQUIRED)
SETBACK PROVIDED FROM INTERIOR PROPERTY LINE (MEASURED TO FACE OF STRUCTURE ABOVE 62' FT.)
-0'-6" ON NORTH STREET FACING SIDE (0'-0" REQUIRED)
-22'-0" ON WEST AND 22'-0" EAST (22'-6" REQUIRED)
-22'-0" ON WEST (14'-0" R.O.W. MEANS 60 FT. DISTANCE BETWEEN BUILDINGS AT ALLEY)
EXEMPTIONS:
PARAPET CAN ENCROACH 4 FT. AND STAIRS, ELEVATOR AND MECHANICAL TOWERS CAN ENCROACH 15 FT. 1

4. USE PERMISSIONS AND PARKING REQUIREMENTS
VEHICLE/PARKING DWELLING: MULTIFAMILY: MORE THAN 750 SQUARE FEET: 1 PER UNIT; EQUAL TO OR LESS THAN 750 SQUARE FEET: ZERO (0) PER UNIT.
REQUIRED: 33 TOTAL UNITS - 22 UNITS UNDER 750 SF = 11 SPACES
1 ADA SPACE REQUIRED PER FCC ACCESSIBILITY TABLE 208.2
15% EV AND 2% EVSE SPACES REQUIRED = 2 SPACES
PROVIDED: 16 (INCLUDING 1 ADA SPACE)
LONG TERM BICYCLE PARKING: RESIDENTIAL, MULTIFAMILY: 1 PER EACH UNIT
REQUIRED: 33 SPACES
PROVIDED: 33 (1 PER UNIT) + 5 SURFACE LEVEL = 38
SHORT TERM BICYCLE PARKING: RESIDENTIAL, MULTIFAMILY: 2; OR 1 PER 20 UNITS
REQUIRED: 2
PROVIDED: 2 SURFACE LEVEL

5. MINIMUM GROUND LEVEL OPEN SPACE: THE MINIMUM GROUND LEVEL OPEN SPACE SHALL BE AT LEAST FIFTEEN (15) % OF THE TOTAL LAND AREA OF THE SITE
REQUIRED: 815 X 05 = 408.8 SF
PROVIDED: 623 SF 2

BUILDING HEIGHT (FROM MEAN GRADE TO TOP OF ROOF SLAB)	73'-11"
NUMBER OF STORIES	7 STORIES + ROOF
NUMBER OF UNITS	33 UNITS
BUILDING SQUARE FOOTAGE (TOTAL GROSS CONDITIONED)	35,445 SQFT
SITE SQUARE FOOTAGE	8,815 SQFT
F.A.R.	4.02
BUILDING COVERAGE (FIRST FLOOR)	6642 SF, 75.3%
PERVIOUS AREA (OPEN GREEN SPACE)	623 SF, 7.1%
IMPERVIOUS AREA	8192 SF, 92.9%
PAVING AREA (OUTSIDE BUILDING FOOTPRINT)	1551 SF, 17.6%
INTERIOR GREEN SPACE (PARKING LOT)	0 SF

APPLICABLE CODES SUMMARY

FLORIDA BUILDING CODES:
 BUILDING - SEVENTH EDITION (2020)
 MECHANICAL - SEVENTH EDITION (2020)
 PLUMBING - SEVENTH EDITION (2020)
 FUEL/GAS - SEVENTH EDITION (2020)
 ENERGY - SEVENTH EDITION (2020)

ELECTRICAL CODES:
 NFPA 70 NATIONAL ELECTRICAL CODE (2017 EDITION)

ACCESSIBILITY CODES:
 FLORIDA BUILDING CODE - ACCESSIBILITY - SEVENTH EDITION (2020)
 THE FAIR HOUSING ACT - US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT

ELEVATORS:
 ASME A17.1
 AMERICAN STANDARD SAFETY CODE FOR ELEVATORS AND ESCALATORS

ZONING:
 CITY OF ST. PETERSBURG LAND DEVELOPMENT REGULATIONS

FIRE CODES:
 FLORIDA FIRE PREVENTION CODE - SEVENTH EDITION (2020) W/ LOCAL AMENDMENTS:
 NFPA 1 - FIRE CODE
 NFPA 10 - STANDARD FOR PORTABLE FIRE EXTINGUISHERS
 NFPA 13 - STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS
 NFPA 14 - STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS
 NFPA 20 - STANDARD FOR THE INSTALLATION OF STATIONARY FIRE PUMPS FOR FIRE PROTECTION
 NFPA 24 - INSTALLATION OF PRIVATE FIRE SERVICE MAINS & APPURTENANCES
 NFPA 54 - NATIONAL FUEL GAS CODE
 NFPA 72 - NATIONAL FIRE ALARM CODE
 NFPA 78 - STANDARD FOR THE PROJECTION OF INFORMATION TECHNOLOGY EQUIPMENT
 NFPA 88A - STANDARD FOR PARKING GARAGE STRUCTURES, 2015 EDITION
 NFPA 90A - STANDARD FOR THE INSTALLATION OF AIR-CONDITION AND VENTILATING SYSTEMS
 NFPA 91 - STANDARD FOR EXHAUST SYSTEMS FOR AIR CONVEYING OF VAPORS, GASES, MISTS, AND
 NON-COMBUSTIBLE PARTICULATE SOLIDS
 NFPA 92 - STANDARD FOR SMOKE CONTROL SYSTEMS
 NFPA 110 - STANDARD FOR EMERGENCY AND STANDBY POWER SYSTEMS
 FL 44 RULES, FLORIDA STATUTES 633

PROJECT TEAM DIRECTORY

OWNER	<p>IDYL PROPERTIES</p> <p>924 PARK LN VALLEY STREAM, NEW YORK, NY 11581</p> <p>PHONE: 212 361 9441</p> <p>CONTACT: ISAAC DANA</p>
ARCHITECT	<p>BEHAR PETERAENCZ, INC.</p> <p>2430 TERMINAL DRIVE SOUTH, ST PETERSBURG, FL 33712</p> <p>PHONE: 727 800 5300</p> <p>CONTACT: KEN COWART</p>
STRUCTURAL ENGINEER	<p>KOLY INTERNATIONAL, INC.</p> <p>760 4TH AVE S, ST. PETERSBURG, FL</p> <p>PHONE: 727 898 2270</p> <p>CONTACT: M.R. ELKHOUly</p>
M.E.P. ENGINEER	<p>GRINER ENGINEERING, INC.</p> <p>3125 5TH AVENUE NORTH SUITE 300, ST. PETERSBURG, FL 33713</p> <p>PHONE: 727 743 0546</p> <p>CONTACT: JOSEPH GRINER</p>
CIVIL ENGINEER	<p>GLOBAL ENGINEERING ASSOCIATES, INC.</p> <p>1806 N FRANKLIN ST, TAMPA, FL 33602</p> <p>PHONE: 813 210 3333</p> <p>CONTACT: AZAM ELSHEIKH</p>
LANDSCAPE ARCHITECT	<p>HUNTER BOOTH DESIGN GROUP</p> <p>146 SECOND STREET NORTH, SUITE 302, ST. PETERSBURG, FL 33701</p> <p>PHONE: 727 821 5699</p> <p>CONTACT: HUNTER BOOTH</p>
LAND USE ATTORNEY	<p>FLETCHER FISCHER POLLACK P L</p> <p>433 CENTRAL AVE., SUITE 401, ST. PETERSBURG, FL 33701</p> <p>PHONE: 813 898 2836</p> <p>CONTACT: ANNE POLLACK</p>

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2240 TERMINAL DRIVE SOUTH, ST. PETERSBURG, FL 33712
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AA26001704

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KENNETH COWART
AR93215
FLORIDA

630 4TH AVE S APARTMENTS
630 4TH AVENUE SOUTH,

ISSUED DRAWING LOG:

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PROJECT NUMBER: 2

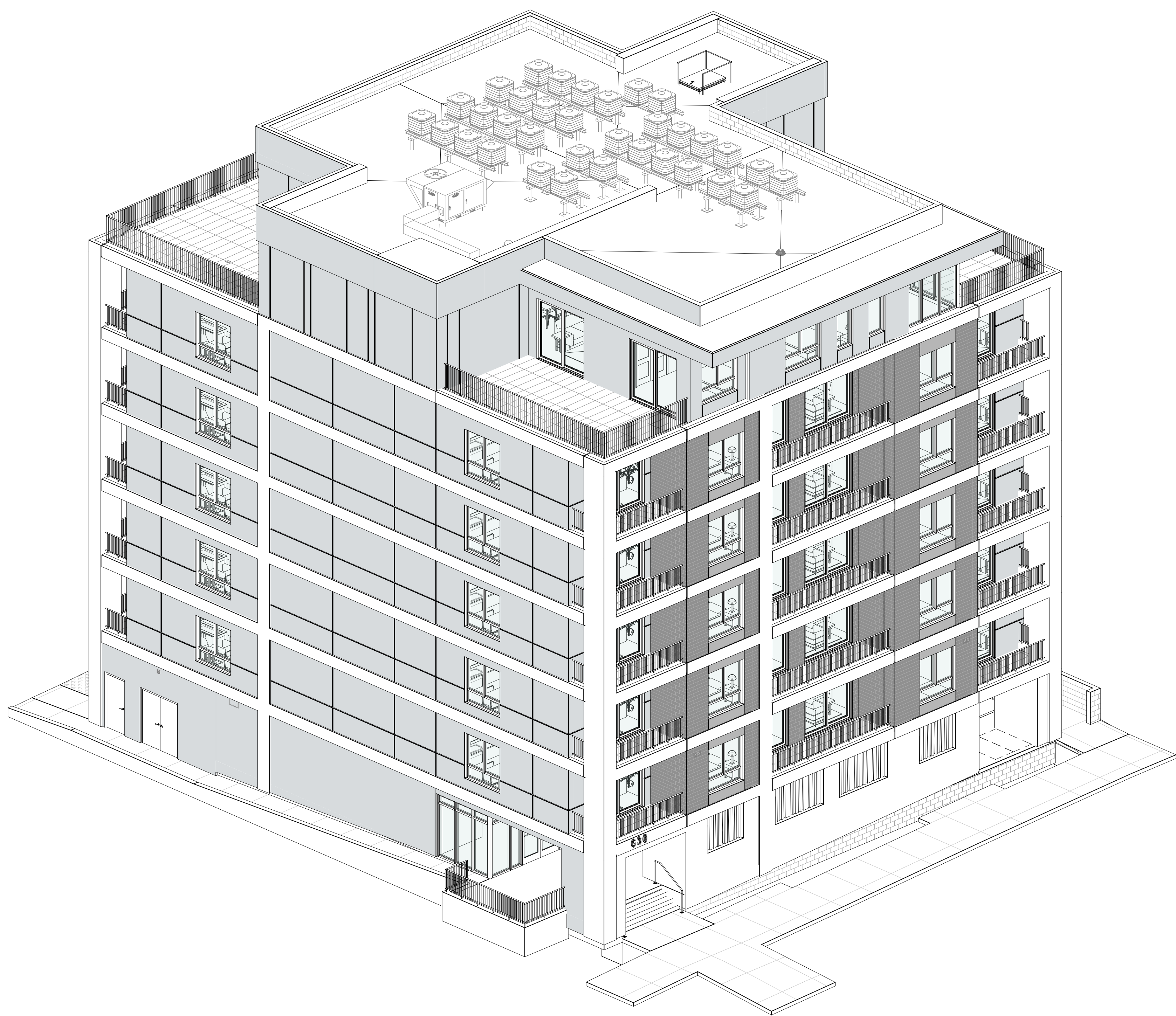
ISSUE DATE: 03.01

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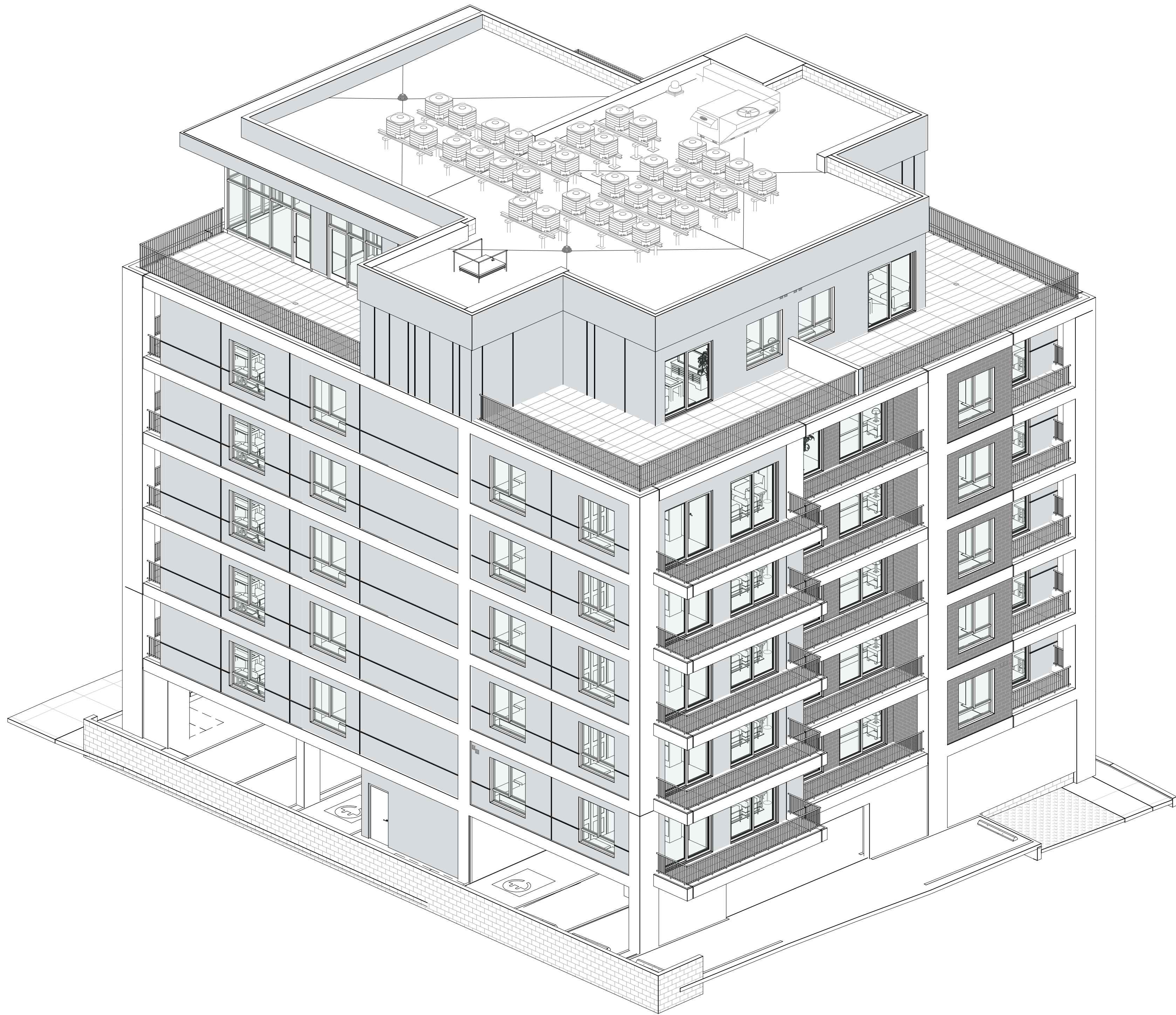
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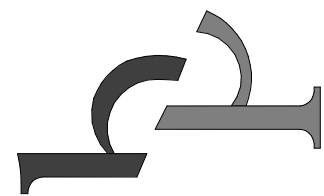
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1 NORTHEAST ISOMETRIC



2 SOUTHWEST ISOMETRIC



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AR33215
FLORIDA

630 4TH AVE S APARTMENTS
630 4TH AVENUE SOUTH,
ST. PETERSBURG, FL 33701

ISSUED DRAWING LOG:

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PROJECT NUMBER: 22.030

ISSUE DATE: 03.01.2023

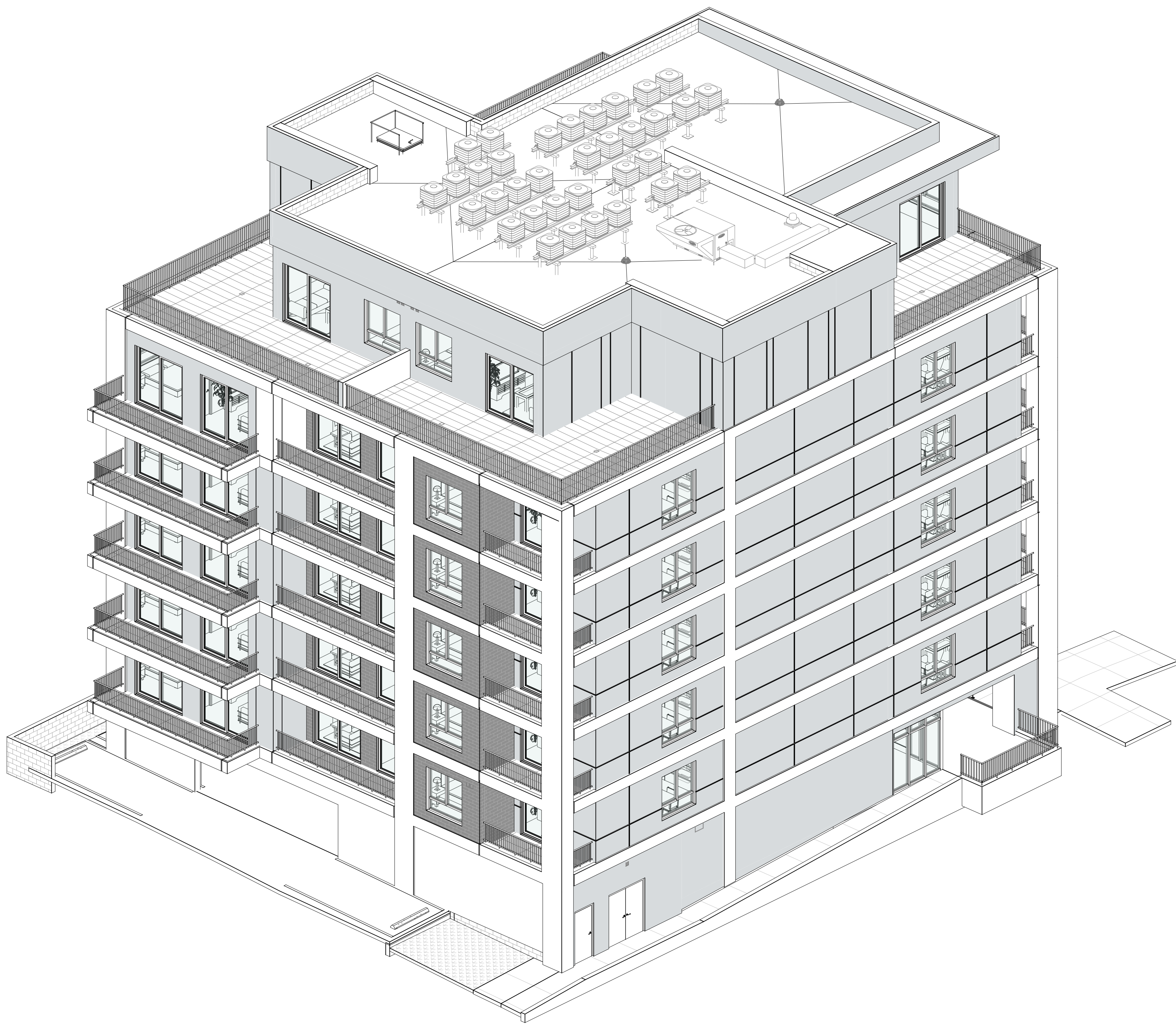
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BUILDING ISOMETRIC
VIEWS

SHEET NUMBER:

A-011

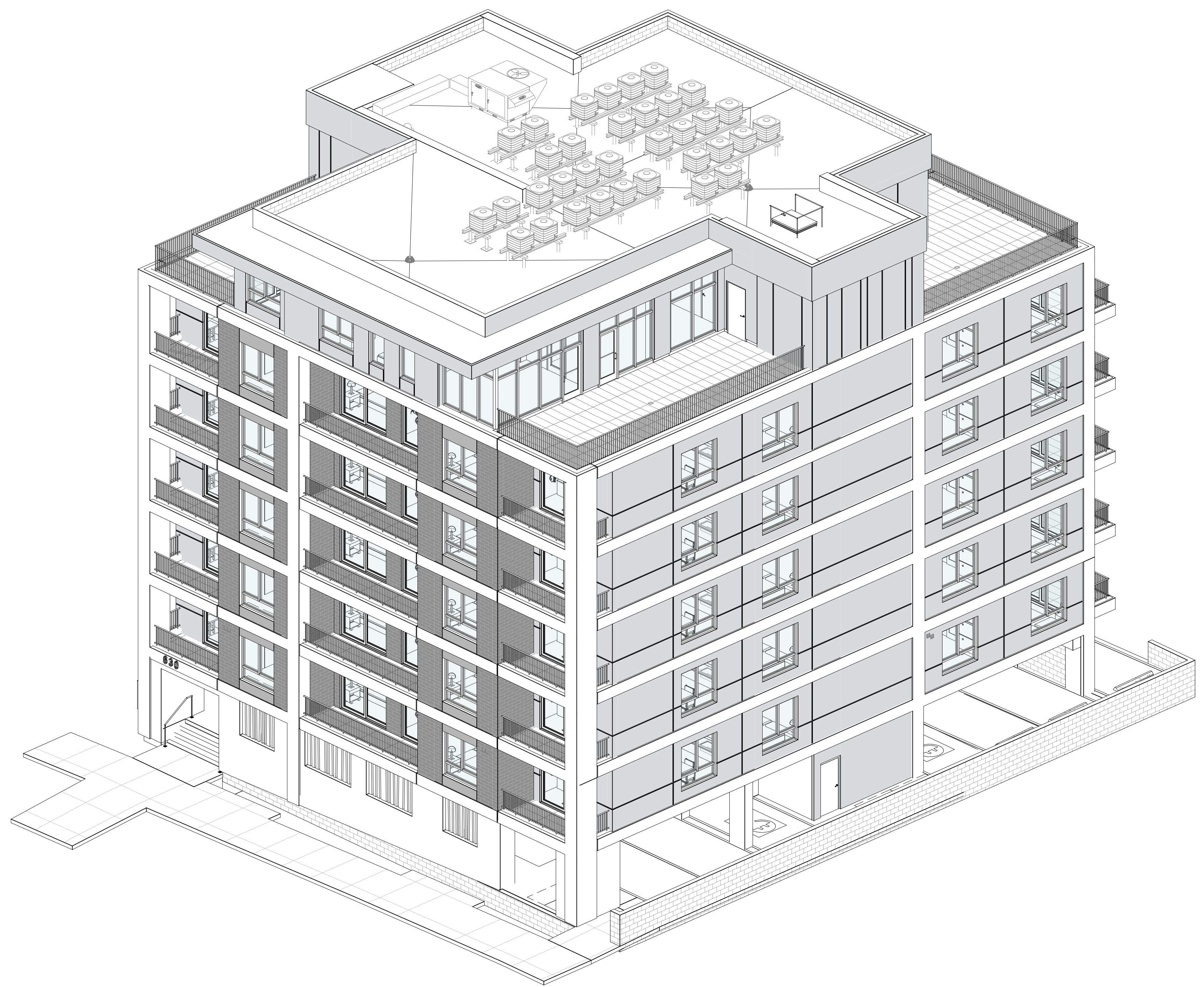
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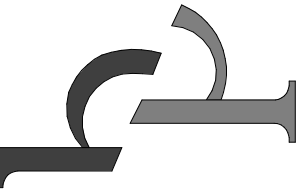


1 SOUTHEAST ISOMETRIC

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2 NORTHWEST ISOMETRIC



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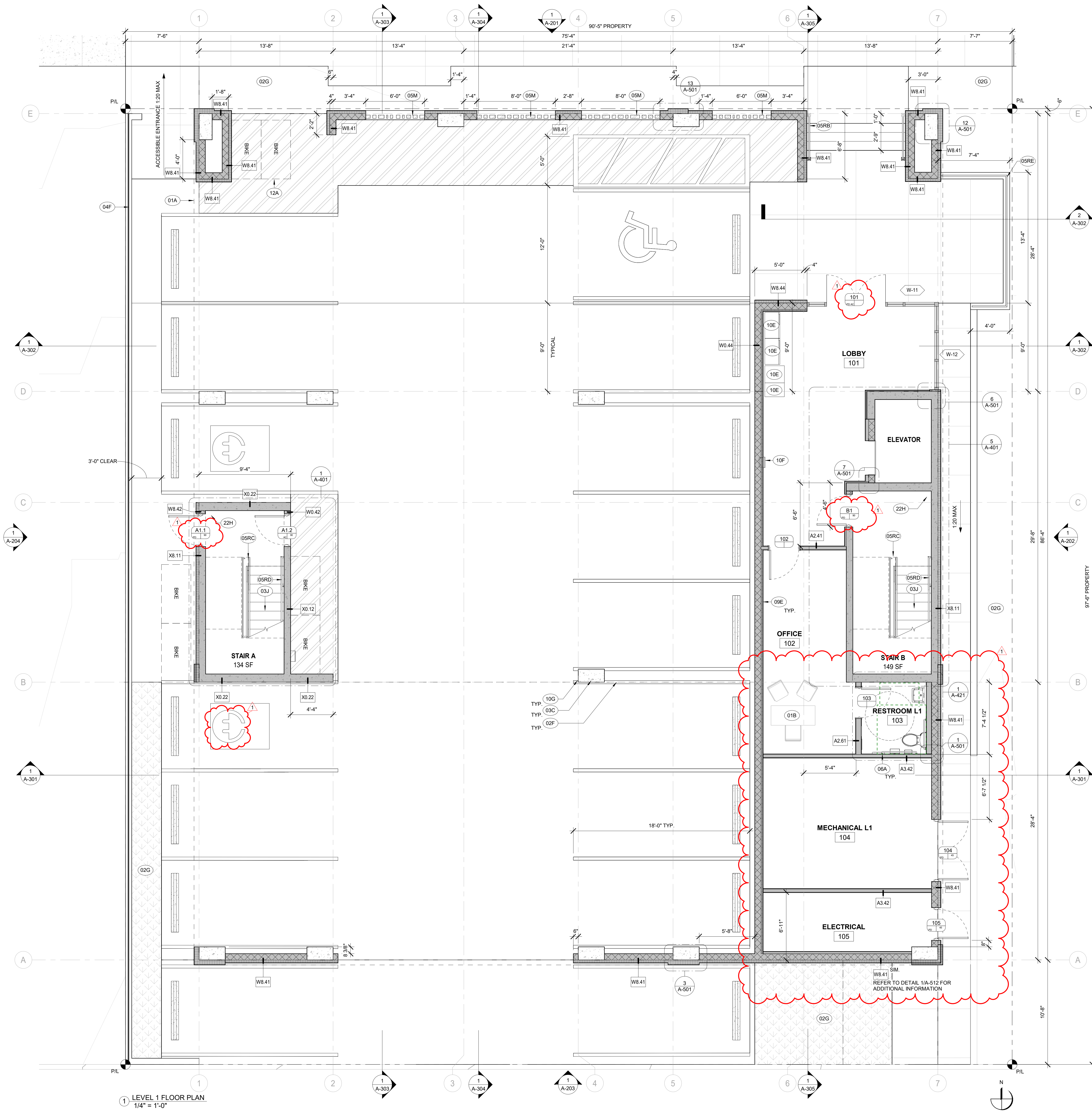
DRAWING TITLE:
BUILDING ISOMETRIC
VIEWS

SHEET NUMBER:

A-012

EDITION:

PERMIT SET



1 LEVEL 1 FLOOR PLAN
1/4" = 1'-0"

PLAN GENERAL NOTES

- BUILDING SIGNAGE SHALL BE PERMITTED SEPARATELY AND IS NOT INCLUDED IN CONTRACT (N.I.C.). COORDINATE WORK WITH OWNER'S SIGNAGE VENDOR FOR ANTICIPATED SIGNAGE LOCATIONS AND ELECTRICAL REQUIREMENTS. PROVIDE POWER FOR FUTURE HOOKUP AT COORDINATED LOCATIONS IN RECESSED JUNCTION BOXES AND CONDUITS.
- ALL FIXTURES, FURNITURE, AND EQUIPMENT IS NOT INCLUDED IN CONTRACT (N.I.C.) AND IS INDICATED FOR SUGGESTIVE REFERENCE ONLY TO SHOW COMPATIBILITY WITH REQUIRED CLEARANCES, POWER HOOKUPS, ETC.
- BIKE PARKING COMPLIANCE: EACH UNIT SHOWS THE CLEAR FLOOR SPACE FOR ONE LONG TERM BIKE PARKING SPACE (33 TOTAL REQUIRED); 5 ADDITIONAL LONG TERM BIKE SPACES AND 2 SHORT TERM SPACES ARE SHOWN ON L1.
- BUILDING SHALL COMPLY WITH FHA REQUIREMENTS.
- CODE COMPLIANCE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH SECTION 1108.4 OF 2020 FBC BUILDING 7TH EDITION AND CHAPTER 633 OF THE FLORIDA STATUTES. BUILDING COMPONENTS AND INFORMATION DERIVED HEREIN FROM OTHER CONSULTANTS ARE INCLUDED FOR REFERENCE ONLY. COMPONENTS AND INFORMATION SHOWN MAY NOT BE ALL INCLUSIVE. REFER TO APPROPRIATE DISCIPLINE FOR COMPLETE INFORMATION ON THESE SYSTEMS.
- PROVIDE AND INSTALL FIRE RETARDANT SOLID WOOD BLOCKING WITHIN WALL AS REQUIRED TO ANCHOR ALL FIXTURES AND ACCESSORIES. O.C. SHALL CLOSELY COORDINATE ALL MOUNTING REQUIREMENTS PRIOR TO INSTALLING FINAL WALL SHEATHING.
- REFER TO I.D. AND ELECTRICAL DRAWINGS FOR ALL LIGHT FIXTURE TYPES AND LOCATIONS.
- REFER TO I.D. DRAWINGS FOR KITCHEN ISLAND, COUNTERTOP, AND EQUIPMENT DIMENSIONS.
- MAINTAIN 3'-4" MIN. C.L.R. BETWEEN ISLAND AND FACE OF APPLIANCE OR OPPOSING COUNTERTOP AS OCCURS.

DIMENSION NOTES

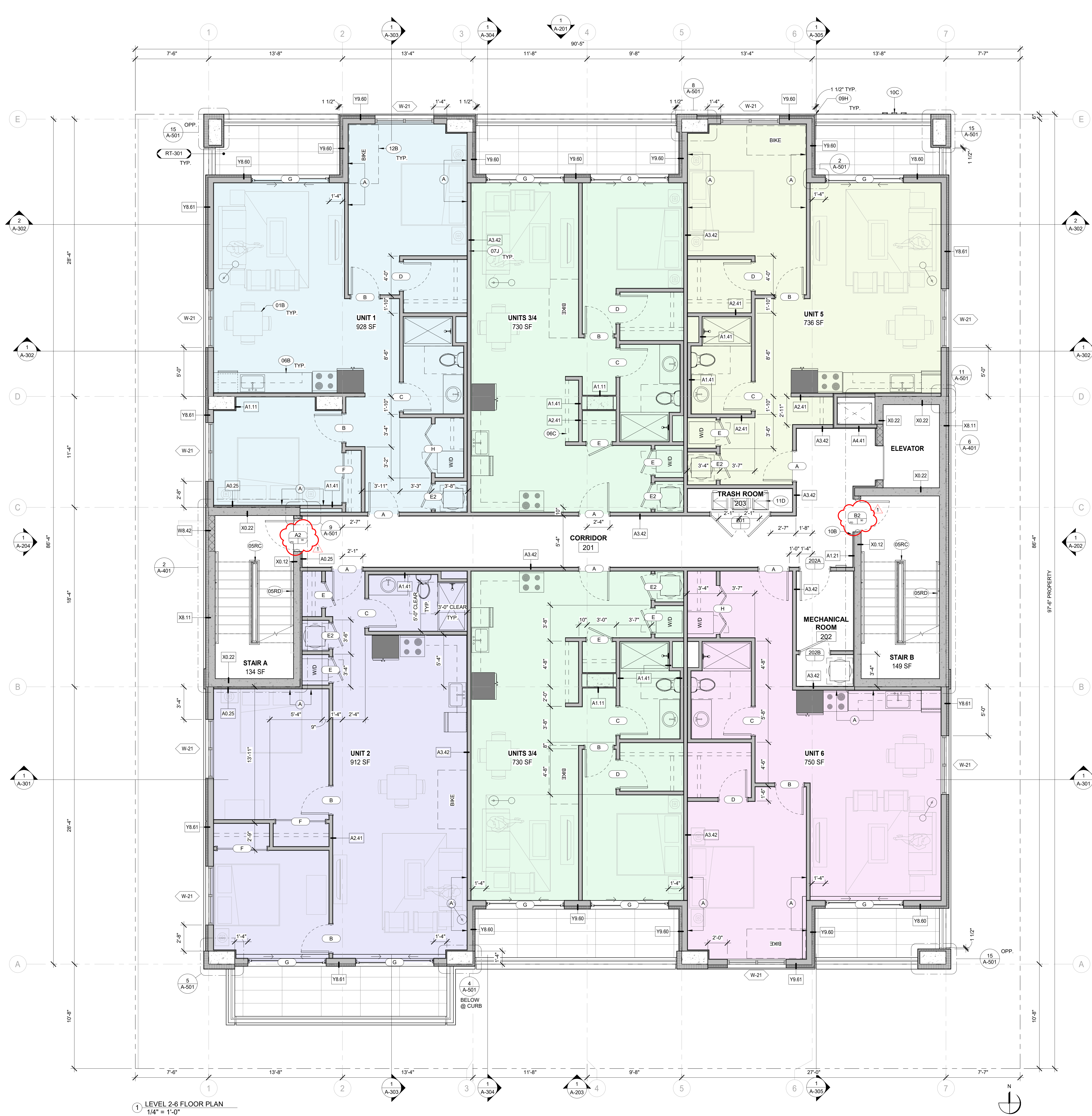
- MASONRY:
 - A. MASONRY PLAN DIMENSIONS ARE NOMINAL AT SCALES NOT SHOWING INDIVIDUAL MODULE.
 - B. OPENINGS ARE NOMINAL MASONRY OPENINGS AT SCALES NOT SHOWING INDIVIDUAL MODULES.
 - C. MASONRY COURSE LINES SHOWN IN ELEVATION REPRESENT NOMINAL DIMENSIONS. JOINT LINES ARE AT TOP OF MASONRY UNIT. VERTICAL JOINT LINES ARE AT CENTERLINE OF JOINT.
 - D. EXTERIOR WALL DIMENSIONS ARE MEASURED TO STRUCTURAL GRIDLINE OR FACE, OR FACE OF STRUCTURAL WALL, U.N.O.
 - E. WHERE FRAMED OPENINGS, DOOR OPENINGS, WINDOW OPENINGS ARE DIRECTLY ADJACENT TO PERPENDICULAR WALLS, DIMENSION FROM FACE OF WALL TO EDGE OF OPENING SHALL BE 8 INCHES, U.N.O. A MINIMUM HEADER BEARING OF 8 INCHES SHALL BE PROVIDED AT ALL MASONRY OPENINGS.
 - F. DRAWINGS WITH INDIVIDUAL MODULAR UNITS SHOWN ARE DIMENSIONED TO ACTUAL SIZE.
- METAL STUDS:
 - A. A STUD WALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, OR FACE OF STUD TO FACE OF MASONRY/CONCRETE OR LAYOUT LINE AS OCCURS.
 - B. ALL CORNERS ARE AT 90 DEGREE RIGHT ANGLES (PERPENDICULAR) TO OTHER WALLS, UNLESS NOTED OTHERWISE (U.N.O.).
 - C. WHERE DOORS ARE ADJACENT TO PERPENDICULAR WALLS, DIMENSION FROM FACE OF WALL TO EDGE OF FRAME SHALL BE 4 INCHES, U.N.O.
 - D. ELEMENTS POSITION BASED ON NON PARALLEL OR NON PERPENDICULAR RELATIONSHIPS TO OTHER ELEMENTS SHALL BE PLACED BY THE WORK POINTS DEFINED FROM OTHER ELEMENTS.
 - E. RADIUS ELEMENTS DEFINED BY MORE THAN 2 WORK POINTS SHALL BE PLACED BY STRIKING AN ARC TANGENT TO ALL WORK POINTS. WHERE MORE THAN 3 WORK POINTS ARE PRESENT, THE ARC AT EACH WORK POINT SHALL BE TANGENT TO THE ADJACENT WORK POINT ON EACH SIDE.

KEYNOTE LEGEND

01A	LINE OF BUILDING ABOVE.
01B	INTERIOR DESIGN SCOPE SHOWN FOR REFERENCE ONLY. REFER TO INTERIOR DESIGN DOCUMENTS FOR ADDITIONAL INFORMATION.
02F	PARKING STRIPING: REFER TO CIVIL ENGINEERING DRAWINGS FOR FOOT STRIPING REQUIREMENTS AND ARCHITECTURAL SITE PLAN FOR PARKING COUNT REQUIREMENTS.
02G	LANDSCAPING AREA: REFER TO CIVIL AND LANDSCAPE DOCUMENTS FOR ANY PROPOSED POLE LOCATIONS, PLANTING LOCATIONS, PARKING SIGNAGE, AND SHORT TERM BIKE RACK LOCATIONS AND DETAILS.
03C	CONCRETE COLUMN: REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. EXPOSED CONCRETE COLUMNS TO BE "RUBBED" TO PROVIDE FINISH QUALITY APPEARANCE.
03J	CAST-IN-PLACE CONCRETE STAIR: TREADS SHALL BE 11" MINIMUM WITH 1" NOSING. RISERS SHALL BE OF EQUAL HEIGHT ALONG STAIR FLIGHTS, MAX. HEIGHT 7". MEDIUM BROOM FINISH. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
04F	CONCRETE MASONRY RETAINING WALL: REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. WHERE LEFT EXPOSED THE CMU SHALL BE LEVEL, PLUMB AND CLEAN OF ALL EXCESS GROUT. GROUT LINES TO BE UNIFORM AND CONCAVE. FINISH WITH HYDROPHOBIC PAINT.
05M	ALUMINUM SCREEN: ALUMINUM FINIS. WELDED TO CONTINUOUS ALUMINUM FRAME ANCHORED TO ADJACENT WALLS. FINIS AND FRAME TO BE PAINTED PER SPECIFICATIONS.
05RB	ALUMINUM HANDRAIL ONLY: FLAT PLATE TOP RAIL AT BUILDING ENTRY STAIR. RAIL DESIGN TO BE POST MOUNTED TO EXTERIOR SLAB AT TOP AND BOTTOM AND SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. ENTIRE SYSTEM TO BE PAINTED PER SPECIFICATIONS. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
05RC	STAIR GUARDRAIL AND HANDRAIL: 1.5" DIAMETER 42" HIGH GUARDRAIL WITH 1" DIAMETER VERTICAL PICKETS AT 4" O.C., 1.5" DIAMETER POSTS AS REQUIRED AND CONTINUOUS HANDRAIL AT 34"-38" AFF. REFER TO STAIR DETAILS FOR ATTACHMENT METHODS. RAIL DESIGN TO CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. ENTIRE SYSTEM TO BE PAINTED PER SPECIFICATIONS. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. REFER TO DETAILS AND ELEVATIONS FOR MORE INFORMATION.
05RD	ALUMINUM HANDRAIL: 2" DIAMETER CONTINUOUS HANDRAIL WITH OFFSET WALL BRACKETS EVENLY SPACED. RAIL DESIGN TO CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. ENTIRE SYSTEM TO BE PAINTED AS REQUIRED PER SPECIFICATIONS. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. REFER TO DETAILS AND ELEVATIONS FOR MORE INFORMATION.
05RE	ALUMINUM BALCONY GUARDRAIL: 2" DIAMETER PAINTED ALUMINUM RAILING, 42" HIGH TOP RAIL WITH BOTTOM RAIL AT 4" AFF. VERTICAL SUPPORT POSTS SHALL BE EQUALLY SPACED AT 5'-0" O.C. CORE DRILLED INTO STRUCTURE. 1" DIAMETER VERTICAL PICKETS AT 4" O.C. RAIL DESIGN TO CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. GUARDRAIL TO BE PAINTED PER SPECIFICATIONS. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. REFER TO DETAILS AND ELEVATIONS FOR MORE INFORMATION.
06A	WOOD BLOCKING: ALL BLOCKING TO BE MIN. 3/4" FRT PLWOOD (MARINE GRADE IN WET AREAS). SCREW FASTEN BETWEEN METAL STUDS IN PARTITIONS AND FURRED WALLS, TYPICAL.
09E	PAINT: PROVIDE PRIMER AND PAINT WITH SUFFICIENT COVERAGE. REFER TO SCHEDULE FOR COLORS AND SPECIFICATIONS FOR PROPER TYPE AND ADDITIONAL INFORMATION.
10E	MAILBOXES: AMAZON LOCKER AND OR USPS LOCKABLE MAILBOXES. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REFER TO ELECTRICAL DOCUMENTS FOR POWER AND DATA REQUIREMENTS.
10F	FIRE EXTINGUISHER CABINET: FULLY RECESSED WHERE ALLOWED. LARSEN "OCULT SERIES"; 0-2409 SOLID DOOR; FLAT TRIM; ALUMINUM CABINET COLOR WHITE. REFER TO LIFE SAFETY DRAWINGS FOR EXTINGUISHER TYPE.
10G	CORNER GUARD: PROVIDE METAL CORNER GUARDS AT ALL LOCATIONS TO PROTECT PIPING OR CONDUIT FROM VEHICLE MOVEMENT.
12A	SHORT TERM BIKE PARKING: REFER TO LANDSCAPE AND CIVIL FOR TYPE AND EXACT PLACEMENT, ANCHORED TO CONCRETE SLAB.
22H	FIRE PROTECTION STANDPIPE: PROVIDE AND INSTALL TWO (2) 1 1/2" DIAMETER HORIZONTAL PIPE RAILS WITH ATTACHMENT PLATES ANCHORED TO STAIR WALLS, SPANNING HORIZONTALLY (DIAGONALLY) FROM WALL TO WALL (ACROSS CORNER), MOUNT LOWER RAIL AT 6' O.C. A.F.F. AND TOP RAIL ANCHORED 27" TO TOP A.F.F. REFER TO FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.

DATE	DESCRIPTION
03/24/2023	NOVA RESPONSE

UNIT TYPES AND AREA MATRIX			
NAME	BED/BATH	AREA	COUNT
UNIT 1	2 BED / 1BATH	928 SF	5
UNIT 2	2 BED / 1BATH	912 SF	5
UNIT 5	1 BED / 1 BATH	736 SF	5
UNIT 6	1 BED / 1 BATH	750 SF	5
UNIT 7	2 BED / 1BATH	1096 SF	1
UNITS 3/4	1 BED / 1 BATH	730 SF	10
UNITS 8	1 BED / 1 BATH	579 SF	2
TOTAL UNITS			33



PLAN GENERAL NOTES

1. BUILDING SIGNAL SHALL BE PERMITTED SEPARATELY AND IS NOT INCLUDED IN CONTRACT (N/C). COORDINATE WORK WITH ALL OTHERS TO DETERMINE THE LOCATION OF SIGNALS, PROVIDE LOCATIONS AND ELECTRICAL REQUIREMENTS, AND PROVIDE POWER FOR FUTURE HOOKUP AT COORDINATED LOCATION. REFER TO THE ELECTRICAL CODE AND CONDUIT ALL FIXTURES, FURNITURE, AND EQUIPMENT IS NOT INCLUDED IN CONTRACT (N/C) AND IS INDICATED FOR THE OWNER'S REFERENCE. THE ELECTRICAL CODE WITH REQUIRED CLEARANCES, POWER HOOKUPS, ETC.
2. BIKING PARKING COMPLIANCE: EACH UNIT SHOWS THE CLEAR LANE FOR BIKING PARKING. THE ELECTRICAL CODE (PAGE 33 TOTAL REQUIRED), 5 ADDITIONAL LONG TERM BIKE SPACES AND 2 SHORT TERM SPACES ARE SHOWN ON L1.
3. THE ELECTRICAL CODE (PAGE 33) IS THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN CONJUNCTION WITH THE FIRE DEPARTMENT. REFERENCE 7TH EDITION AND CHAPTER 633 OF THE FLORIDA STATUTES.
4. BUILDING PERMITTING AND INFORMATION ON DEPOSITED HEREIN FROM OTHER COMPANIES ARE NOT BE USED FOR REFERENCE ONLY. COMPONENTS AND INFORMATION SHOWN ON ALL PLANS SHALL BE USED FOR THE PURPOSE OF DISCUSSING FOR COMPLETE INFORMATION ON THESE SYSTEMS.
5. FIRE RATED AND INSTALL FIRE RETARDANT SLOD WOOD BLOCKING WITHIN WALL AS REQUIRED TO ANCHOR ALL FIXTURES AND ACCESSORIES. G SHALL CLOSELY COORDINATE ALL WORKS WITH THE ELECTRICAL CODE PRIOR TO INSTALLING WALL SHEATHING.
6. REFER TO ID AND ELECTRICAL DRAWINGS FOR ALL LIGHT FIXTURES AND EQUIPMENT DIMENSIONS.
7. REFER TO ID, DRAWINGS FOR KITCHEN ISLAND, COUNTERTOP, AND EQUIPMENT DIMENSIONS.
8. THE MINIMUM CLEARANCE AND FACE OF APPLIANCE OR OPPOSING COUNTERTOP AS OCCURS.

DIMENSION NOTES

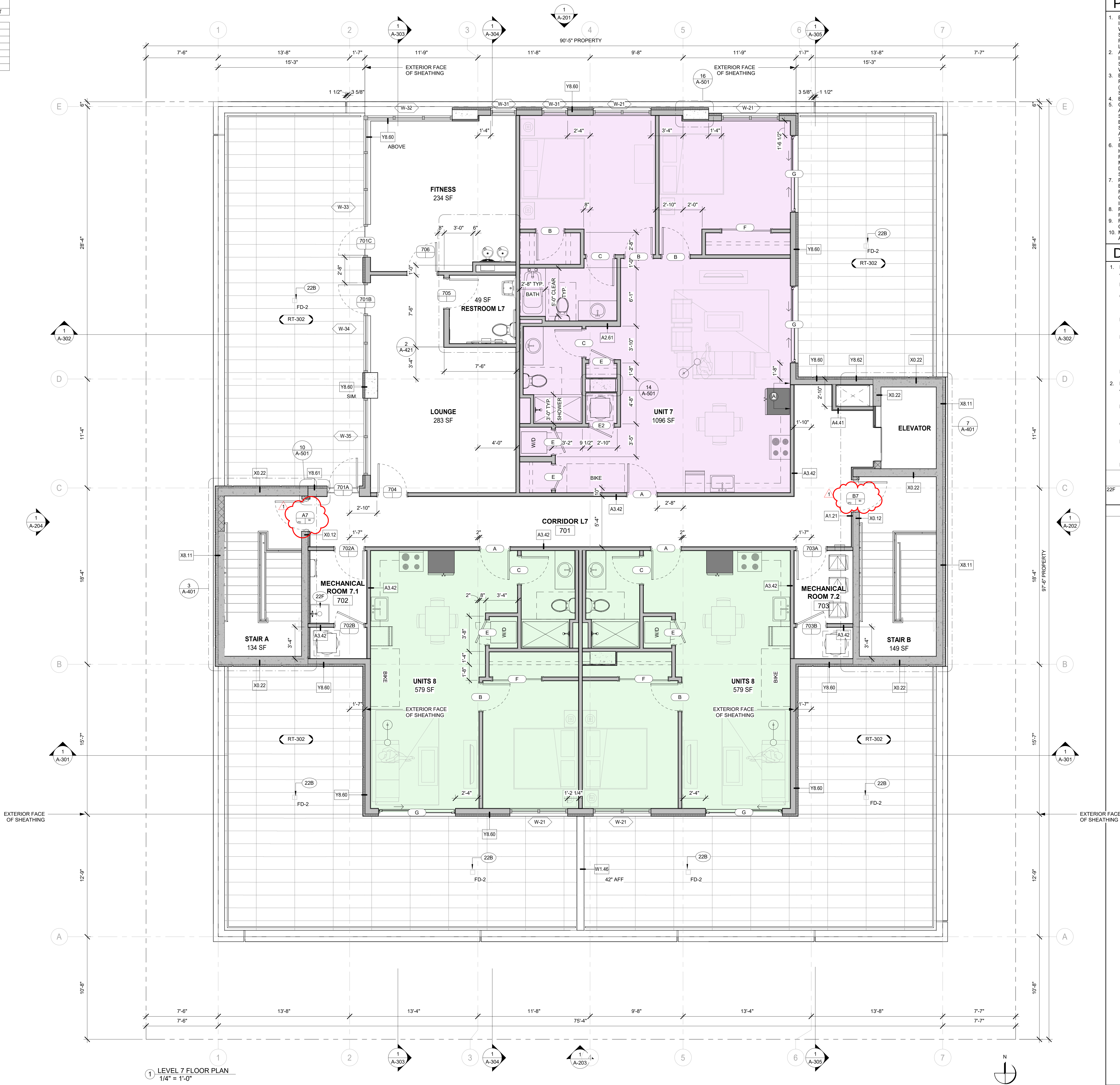
1. MASONRY:
 - A. MASONRY PLAN DIMENSIONS ARE NOMINAL AT SCALES NOT SHOWING INDIVIDUAL MODULARS
 - B. OPENINGS ARE NOMINAL MASONRY OPENINGS AT SCALES NOT SHOWING INDIVIDUAL MODULARS
 - C. MASONRY COURSEING SHALL BE INDICATED BY LINES REPRESENT NOMINAL DIMENSIONS, JOINT LINES ARE AT TOP OF MASONRY UNIT, VERTICAL JOINT LINES ARE AT JOINT LINE OF JOINT
 - D. EXTERIOR WALL DIMENSIONS ARE MEASURED TO EXTERIOR SURFACE, GRADE OR FACE, OR FACE OF STRUCTURAL WALL, U.N.O.
 - E. WHERE FRAMED OPENINGS, DOOR OPENINGS, WINDOW OPENINGS ARE PRESENT, DIMENSION TO FACE OF INDIVIDUAL WALLS, DIMENSION FROM FACE OF WALL TO EDGE OPENING SHALL BE 8 INCHES, U.N.O. A MINIMUM HEADER AND JAMB OF 8 INCHES SHALL BE PROVIDED AT ALL MASONRY OPENINGS.
 - F. DRAWINGS WITH INDIVIDUAL MODULAR UNITS SHOWN SHALL BE INDICATED BY DIMENSION LINES.
2. METAL STUDS:
 - A. STUD WALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, OR FACE OF STUD TO FACE OF MASONRY/CONCRETE OR LAYOUT LINE AS OCCURS.
 - B. ALL STUDS ARE TO BE PERPENDICULAR TO PERPENDICULAR (PERPENDICULAR TO ADJACENT WALLS, UNLESS NOTED OTHERWISE (U.N.O.))
 - C. WHERE DOORS ARE ADJACENT TO PERPENDICULAR WALLS, DIMENSION FROM FACE OF WALL TO EDGE OF FRAME SHALL BE 4 INCHES, U.N.O.
 - D. WHERE POSITION BASED ON NON PARALLEL, OR NON PERPENDICULAR RELATIONSHIPS TO OTHER ELEMENTS SHALL BE PLACED BY THE WORK POINTS DEFINED FROM OTHER ELEMENTS
 - E. RADIUS ELEMENTS DEFINED BY MORE THAN 2 WORK POINTS SHALL BE PLACED BY STRIKING AN ARC TANGENT TO TWO WORK POINTS, THE OTHER TWO WORK POINTS ARE PRESENT, THE ARC AT EACH WORK POINT SHALL BE TANGENT TO THE ADJACENT WORK POINT ON EACH ELEMENT

KEYNOTE LEGEND

- | | |
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| 01B | INTERIOR DESIGN SCOP: SHOWN FOR REFERENCE ONLY. REFER TO INTERIOR DESIGN DOCUMENTS FOR ADDITIONAL INFORMATION. |
| 059C | STAIR GUARDRAIL AND HANDRAIL: 1.5" DIAMETER 42" HIGH GUARDRAIL WITH 1" DIAMETER VERTICAL PICKETS AT 4" O.C., 1.5" DIAMETER POSTS AS REQUIRED AND 1.5" DIAMETER HANDRAIL AT 34" - 38" AFF. REFER TO STAIR DETAILS FOR ATTACHMENT METHODS. RAIL DESIGN TO CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. COORDINATIONS: CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. REFER TO DETAILS AND ELEVATIONS FOR MORE INFORMATION. |
| 059D | ALUMINUM HANDRAIL: 2" DIAMETER CONTINUOUS HANDRAIL WITH OFFSET WALL BRACKETS EVENLY SPACED. RAIL DESIGN TO CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. ENTIRE SYSTEM TO BE PAINTED AS REQUIRED PER SPECIFICATIONS. COORDINATIONS: CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. REFER TO DETAILS AND ELEVATIONS FOR MORE INFORMATION. |
| 06B | CASEWORK: REFER TO INTERIOR DESIGN DETAILS AND ELEVATIONS. |
| 06C | MILLWORK: REFER TO INTERIOR DESIGN DETAILS AND ELEVATIONS. |
| 07C | BATT INSULATION: FULLY FLIP WALL CAVITY. |
| 09H | BALCONY DRAINAGE REVEAL: CONCRETE CURB AND EFS SYSTEM PULLED BACK TO CREATE 1 1/2" CHANNEL. REFER TO DETAILS, ELEVATIONS, AND DETAILS FOR ADDITIONAL INFORMATION. |
| 10B | SIGNAGE: ADA AND FBC COMPLIANT SIGNAGE, CAD CUT ACRYLIC W/ RAISED BRAILLE - ALL RESTROOMS. SIGNAGE MATERIAL, ELEVATIONS, AND DETAILS AS REQUIRED BY NFPA AND FBC. |
| 10C | SIGNAGE: TENANT/ BUILDING SIGNAGE UNDER SEPARATE SCOPE OF WORK; CONTRACTOR TO PROVIDE BACKING, POSTING, AND COORDINATION FOR INSTALLATION AS NEEDED. |
| 11D | RECYCLING OR TRASH BIN: OWNER TO COORDINATE WITH THE CITY OF MIAMI FOR THE PROPER SIZES AND TYPES. |
| 12B | LONG TERM BICYCLE STORAGE: SPACE DESIGNATED IN UNIT FOR BICYCLE PARKING. |

		
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630 4TH AVE S APARTMENTS	630 4TH AVENUE SOUTH, ST. PETERSBURG, FL 33701	
ISSUED DRAWING LOG:		
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PROJECT NUMBER:		
	22.030	
ISSUE DATE:		
	03.01.2023	
DRAWING TITLE:		
	LEVEL 2-6 FLOOR PLAN	
SHEET NUMBER:		
	A-102	

UNIT TYPES AND AREA MATRIX			
NAME	BED/BATH	AREA	COUNT
UNIT 1	2 BED / 1 BATH	928 SF	5
UNIT 2	2 BED / 1 BATH	912 SF	5
UNIT 5	1 BED / 1 BATH	736 SF	5
UNIT 6	1 BED / 1 BATH	750 SF	5
UNIT 7	2 BED / 1 BATH	1096 SF	1
UNITS 3/4	1 BED / 1 BATH	730 SF	10
UNITS 8	1 BED / 1 BATH	579 SF	2
TOTAL UNITS			33



PLAN GENERAL NOTES

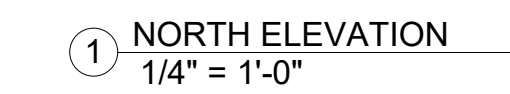
- BUILDING SIGNAGE SHALL BE PERMITTED SEPARATELY AND IS NOT INCLUDED IN CONTRACT (N.I.C.). COORDINATE WORK WITH OWNER'S SIGNAGE VENDOR FOR ANTICIPATED SIGNAGE LOCATIONS AND ELECTRICAL REQUIREMENTS. PROVIDE POWER FOR FUTURE HOOKUP AT COORDINATED LOCATIONS IN RECESSED JUNCTION BOXES AND CONDUITS.
- ALL FIXTURES, FURNITURE, AND EQUIPMENT IS NOT INCLUDED IN CONTRACT (N.I.C.) AND IS INDICATED FOR SUGGESTIVE REFERENCE ONLY TO SHOW COMPATIBILITY WITH REQUIRED CLEARANCES, POWER HOOKUPS, ETC.
- BIKE PARKING COMPLIANCE: EACH UNIT SHOWS THE CLEAR FLOOR SPACE FOR ONE LONG TERM BIKE PARKING SPACE (33 TOTAL REQUIRED); 5 ADDITIONAL LONG TERM BIKE SPACES AND 2 SHORT TERM SPACES ARE SHOWN ON L1.
- BUILDING SHALL COMPLY WITH FHA REQUIREMENTS.
- CODE COMPLIANCE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH SECTION 1108.4 OF 2020 FBC BUILDING 7TH EDITION AND CHAPTER 633 OF THE FLORIDA STATUTES.
- BUILDING COMPONENTS AND INFORMATION DERIVED HEREIN FROM OTHER CONSULTANTS ARE INCLUDED FOR REFERENCE ONLY. COMPONENTS AND INFORMATION SHOWN MAY NOT BE ALL INCLUSIVE. REFER TO APPROPRIATE DISCIPLINE FOR COMPLETE INFORMATION ON THESE SYSTEMS.
- PROVIDE AND INSTALL FIRE RETARDANT SOLID WOOD BLOCKING WITHIN WALL AS REQUIRED TO ANCHOR ALL FIXTURES AND ACCESSORIES. O.C. SHALL CLOSELY COORDINATE ALL MOUNTING REQUIREMENTS PRIOR TO INSTALLING FINAL WALL SHEATHING.
- REFER TO I.D. AND ELECTRICAL DRAWINGS FOR ALL LIGHT FIXTURE TYPES AND LOCATIONS.
- REFER TO I.D. DRAWINGS FOR KITCHEN ISLAND, COUNTERTOP, AND EQUIPMENT DIMENSIONS.
- MAINTAIN 3'-4" MIN. CLR. BETWEEN ISLAND AND FACE OF APPLIANCE OR OPPOSING COUNTERTOP AS OCCURS.

DIMENSION NOTES

- MASONRY:
 - MASONRY PLAN DIMENSIONS ARE NOMINAL AT SCALES NOT SHOWING INDIVIDUAL MODULE.
 - OPENINGS ARE NOMINAL MASONRY OPENINGS AT SCALES NOT SHOWING INDIVIDUAL MODULES.
 - MASONRY COURSING LINES SHOWN IN ELEVATION REPRESENT NOMINAL DIMENSIONS. JOINT LINES ARE AT TOP OF MASONRY UNIT. VERTICAL JOINT LINES ARE AT CENTERLINE OF JOINT.
 - EXTERIOR WALL DIMENSIONS ARE MEASURED TO STRUCTURAL GRIDLINE OR FACE, OR FACE OF STRUCTURAL WALL, U.N.O.
 - WHERE FRAMED OPENINGS, DOOR OPENINGS, WINDOW OPENINGS ARE DIRECTLY ADJACENT TO PERPENDICULAR WALLS, DIMENSION FROM FACE OF WALL TO EDGE OF OPENING SHALL BE 8" INCHES. U.N.O. A MINIMUM HEADER BEARING OF 8" INCHES SHALL BE PROVIDED AT ALL MASONRY OPENINGS.
 - DRAWINGS WITH INDIVIDUAL MODULAR UNITS SHOWN ARE DIMENSIONED TO ACTUAL SIZE.
- METAL STUDS:
 - A STUD WALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, OR FACE OF STUD TO FACE OF MASONRY/CONCRETE OR LAYOUT LINE AS OCCURS.
 - ALL CORNERS ARE AT 90 DEGREE RIGHT ANGLES (PERPENDICULAR) TO OTHER WALLS, UNLESS NOTED OTHERWISE (U.N.O.).
 - WHERE DOORS ARE ADJACENT TO PERPENDICULAR WALLS, DIMENSION FROM FACE OF WALL TO EDGE OF FRAME SHALL BE 4" INCHES. U.N.O.
 - ELEMENTS POSITION BASED ON NON PARALLEL OR NON PERPENDICULAR RELATIONSHIPS TO OTHER ELEMENTS SHALL BE PLACED BY THE WORK POINTS DEFINED FROM OTHER ELEMENTS.
 - RADIUS ELEMENTS DEFINED BY MORE THAN 2 WORK POINTS SHALL BE PLACED BY DRAWING AN ARC TANGENT TO THE TWO WORK POINTS AND PERPENDICULAR TO THE LINE BETWEEN THE TWO WORK POINTS. THE ARC TANGENT SHALL BE PLACED BY THE WORK POINTS. THE ARC TANGENT SHALL BE PLACED BY THE WORK POINTS. THE ARC TANGENT SHALL BE PLACED BY THE WORK POINTS.

KEYNOTE LEGEND

- 22F: MECHANICAL ROOM 7.1 (702) SHALL BE PLACED BY THE WORK POINTS. THE ARC TANGENT SHALL BE PLACED BY THE WORK POINTS. THE ARC TANGENT SHALL BE PLACED BY THE WORK POINTS.



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630 4TH AVE S APARTMENTS
630 4TH AVENUE SOUTH,
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PROJECT NUMBER: 22.030

ISSUE DATE: 03.01.2023

DRAWING TITLE:
EXTERIOR ELEVATIONS

DRAWING TITLE:
EXTERIOR ELEVATIONS

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER: _____

A-201

EDITION: PERMIT SET

KEYNOTE LEGEND

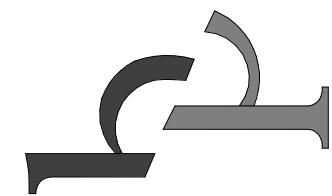
05RE	ALUMINUM BALCONY GUARDRAIL: 2" DIAMETER PAINTED ALUMINUM RAILING, 42" HIGH TOP RAIL AND BOTTOM RAIL. 4" VERTICAL BRACE SUPPORT POSTS SHALL BE EQUALLY SPACED AT 50" O.C., CORE DRILLED INTO STRUCTURE. 1" DIAMETER METALLIC PICKETS AT 48" O.C. SHALL RESIST TO CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. GUARDRAIL TO BE PAINTED PER SPECIFICATIONS. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. REFER TO DETAILS AND ELEVATIONS FOR MORE INFORMATION.
07I	EIS STUCCO FINISH REVEAL. REFER TO MANUFACTURER GUIDELINES FOR ADDITIONAL INFORMATION.
09H	BALCONY DRAINAGE REVEAL. CONCRETE CURB AND EIS SYSTEM PULLED BACK TO CREATE 1 1/2" CHANNEL. REFER TO ELEVATIONS, DETAILS AND DETAILS FOR ADDITIONAL INFORMATION.



① EAST ELEVATION
1/4" = 1'-0"



KEYNOTE LEGEND	
05RE	ALUMINUM BALCONY GUARDRAIL: 2" DIAMETER PAINTED ALUMINUM RAILING, 42" HIGH TOP RAIL WITH BOTTOM RAIL AT 4" AFF. VERTICAL SUPPORT POSTS SHALL BE EQUALLY SPACED AT 5'-0" O.C. CORE DRILLED INTO STRUCTURE. 1" DIAMETER VERTICAL PICKETS AT 4" O.C. RAIL DESIGN TO CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. GUARDRAIL TO BE PAINTED PER SPECIFICATIONS. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. REFER TO DETAILS AND ELEVATIONS FOR MORE INFORMATION.
07L	EIFS STUCCO FINISH REVEAL: REFER TO MANUFACTURER GUIDELINES FOR ADDITIONAL INFORMATION
09H	BALCONY DRAINAGE REVEAL: CONCRETE CURB AND EIFS SYSTEM PULLED BACK TO CREATE 1 1/2" CHANNEL. REFER TO PLANS, ELEVATIONS, AND DETAILS FOR ADDITIONAL INFORMATION.



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630 4TH AVE S APARTMENTS
630 4TH AVENUE SOUTH,
ST. PETERSBURG, FL 33701

ISSUED DRAWING LOG:

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PROJECT NUMBER: 22.030

ISSUE DATE: 03.01.2023

DRAWING TITLE:
EXTERIOR ELEVATIONS

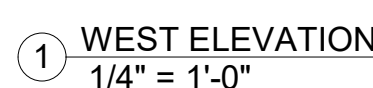
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EDITION:

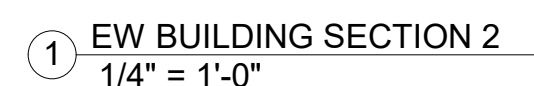
PERMIT SET

1 SOUTH ELEVATION
1/4" = 1'-0"



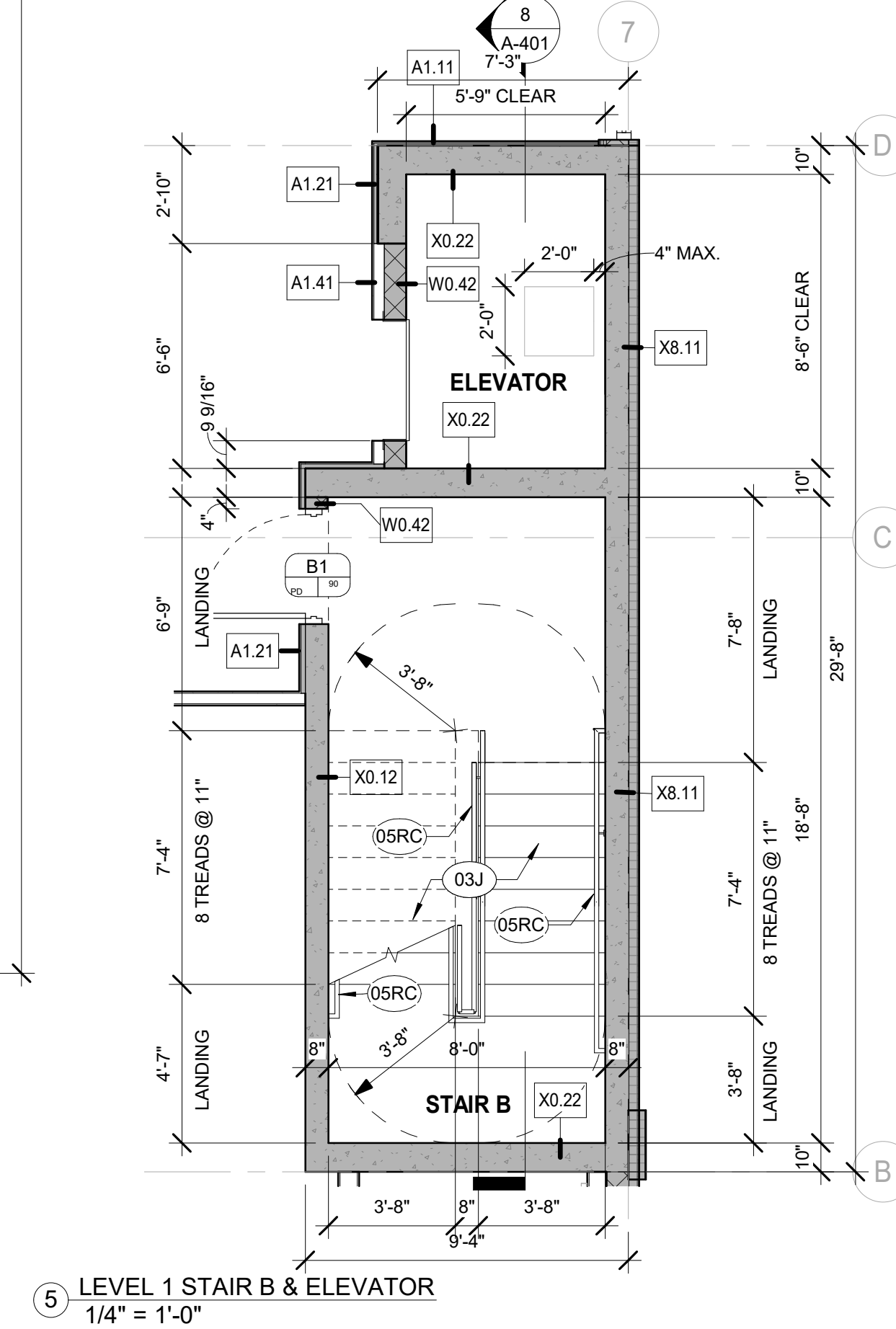
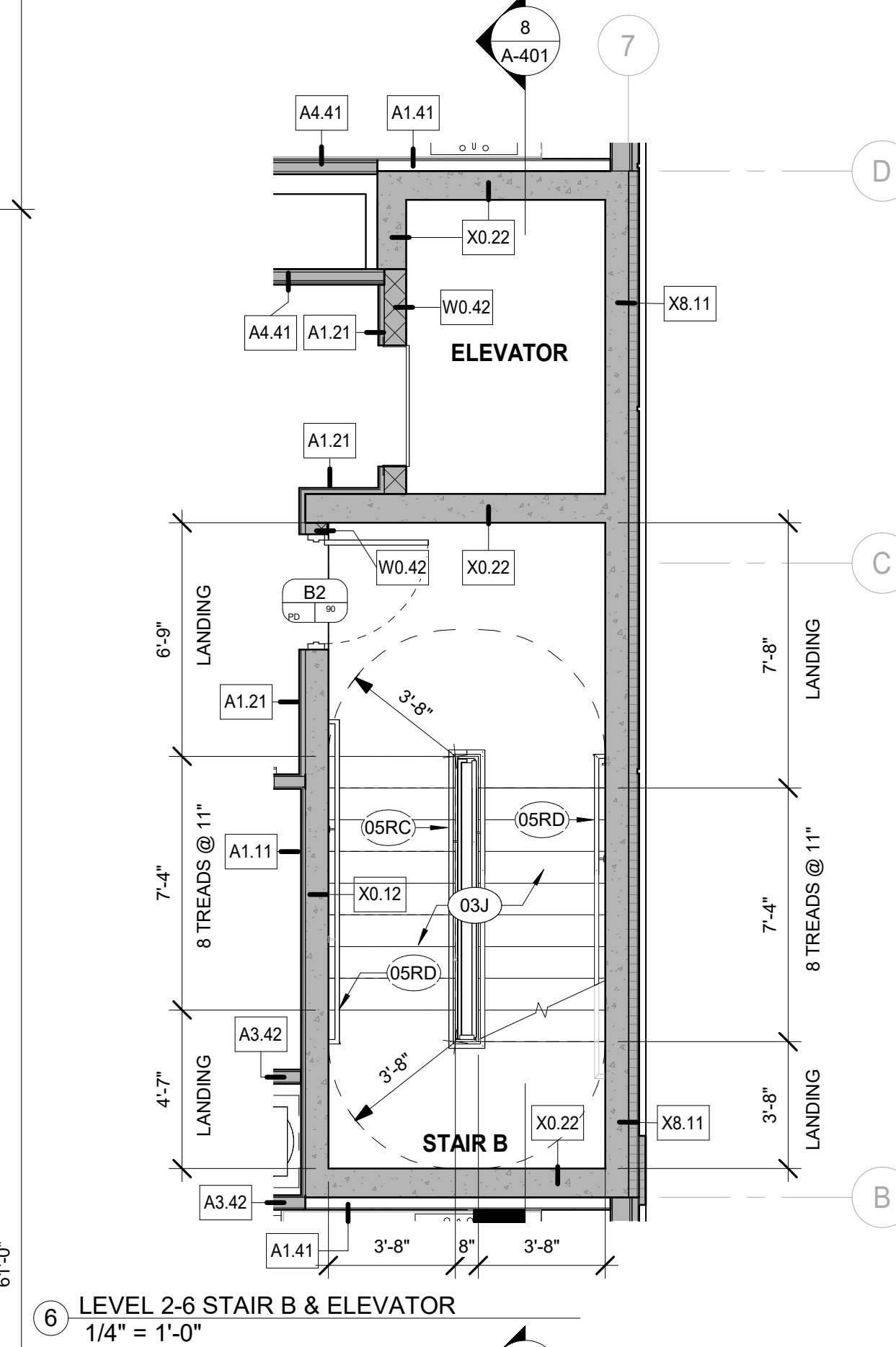
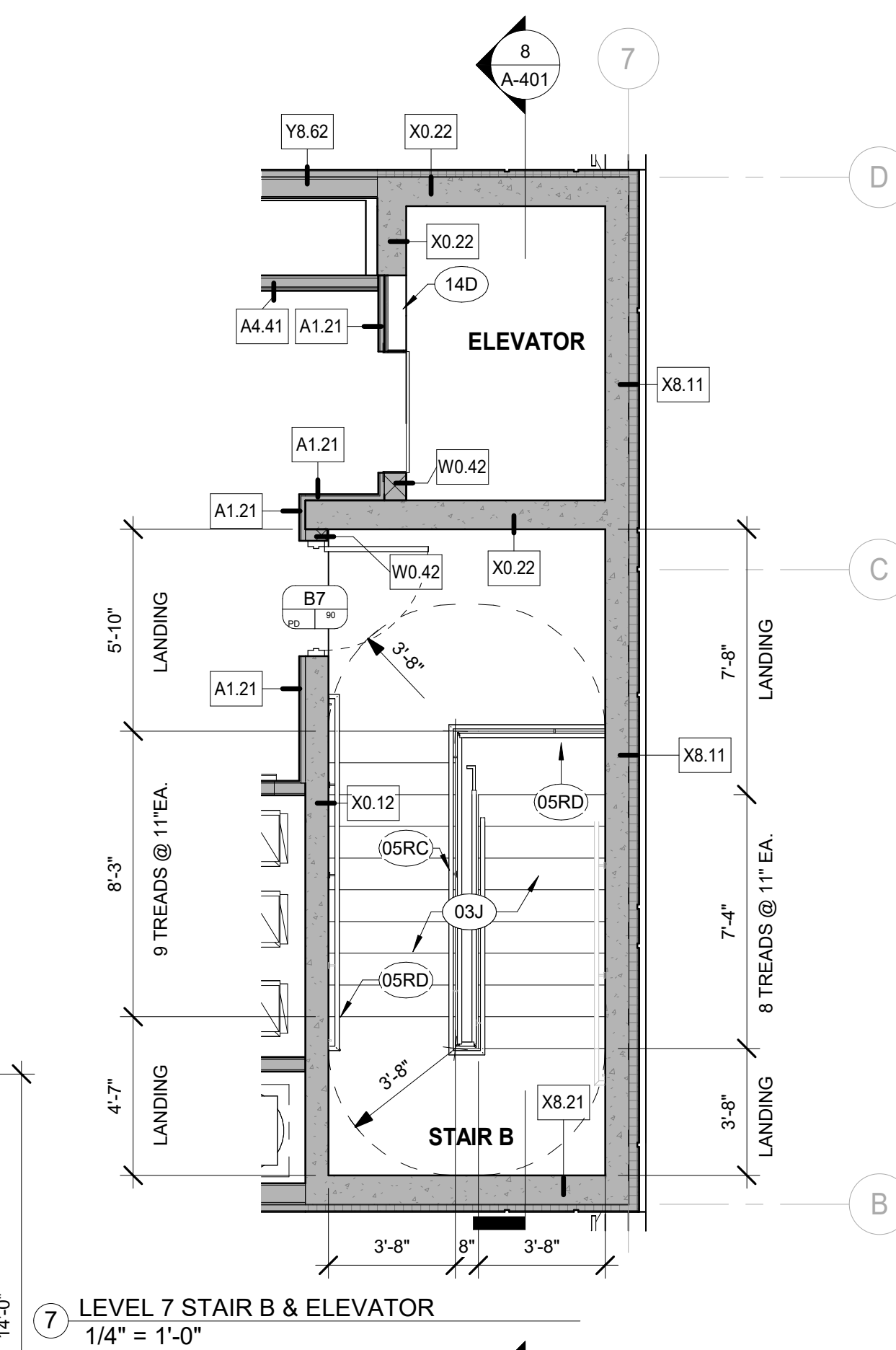
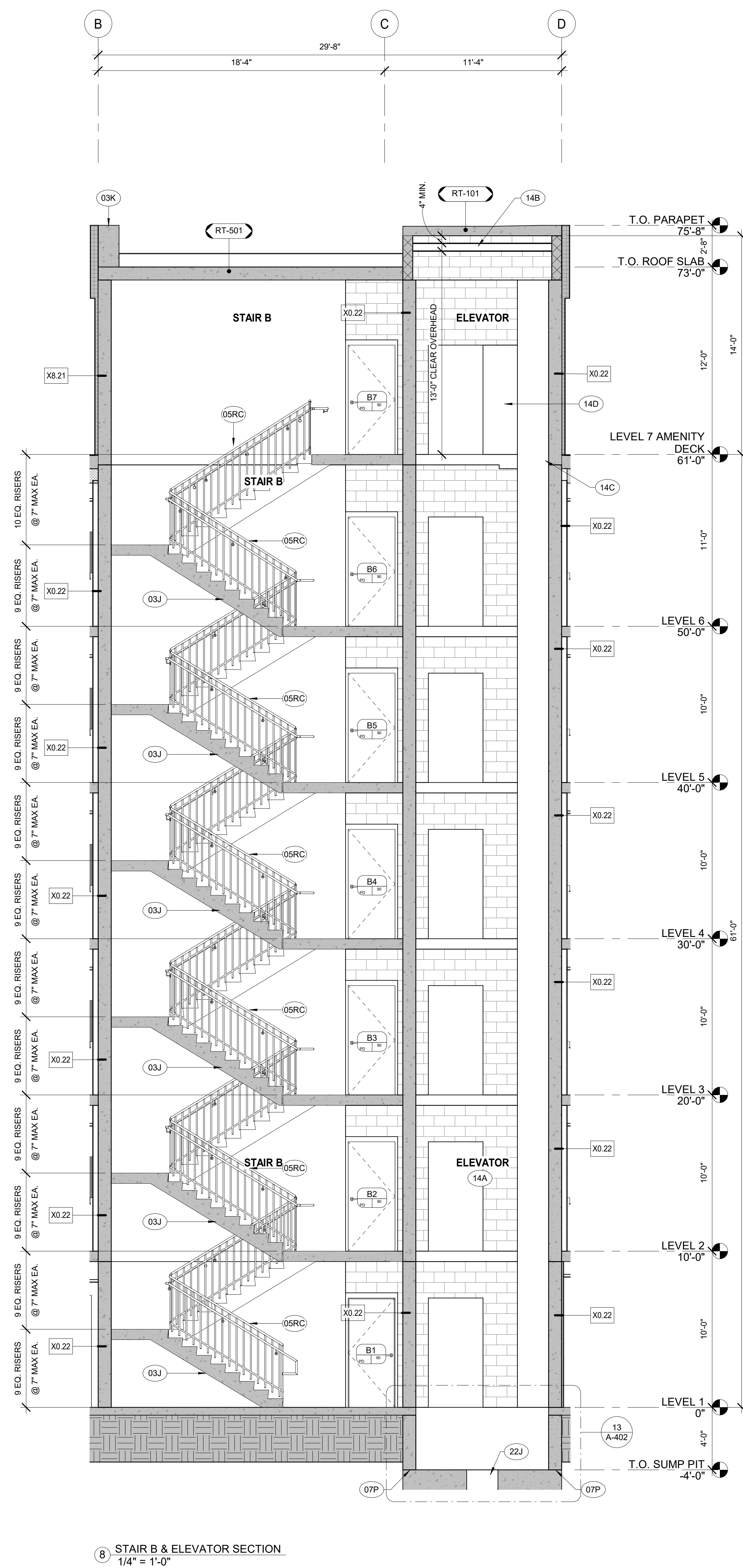
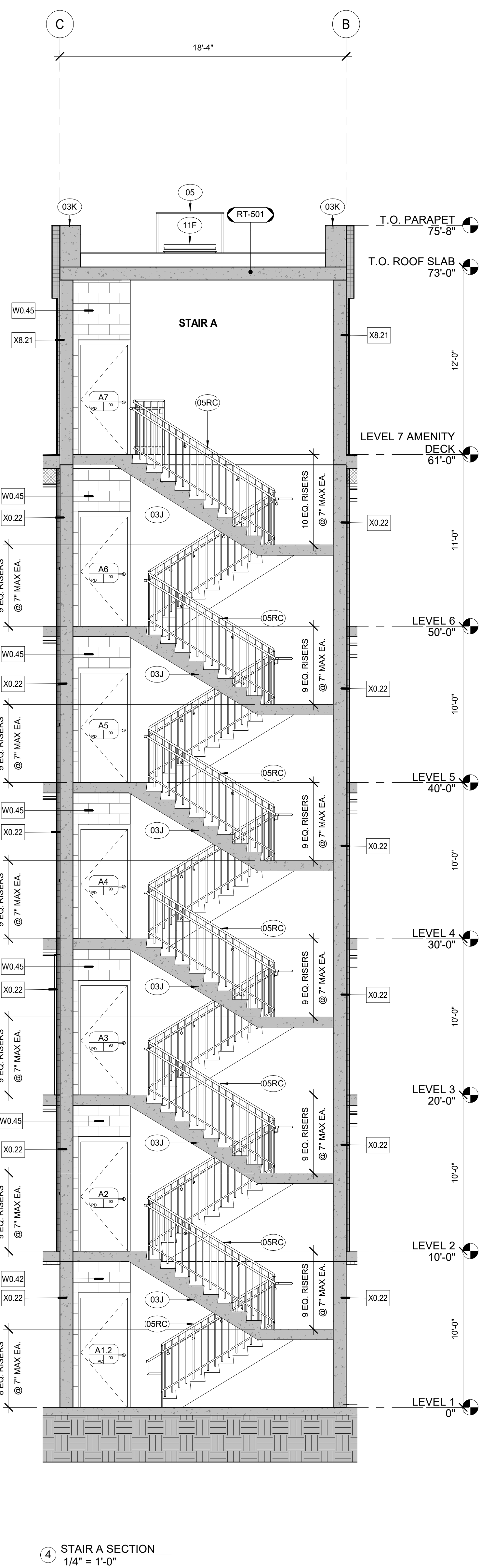
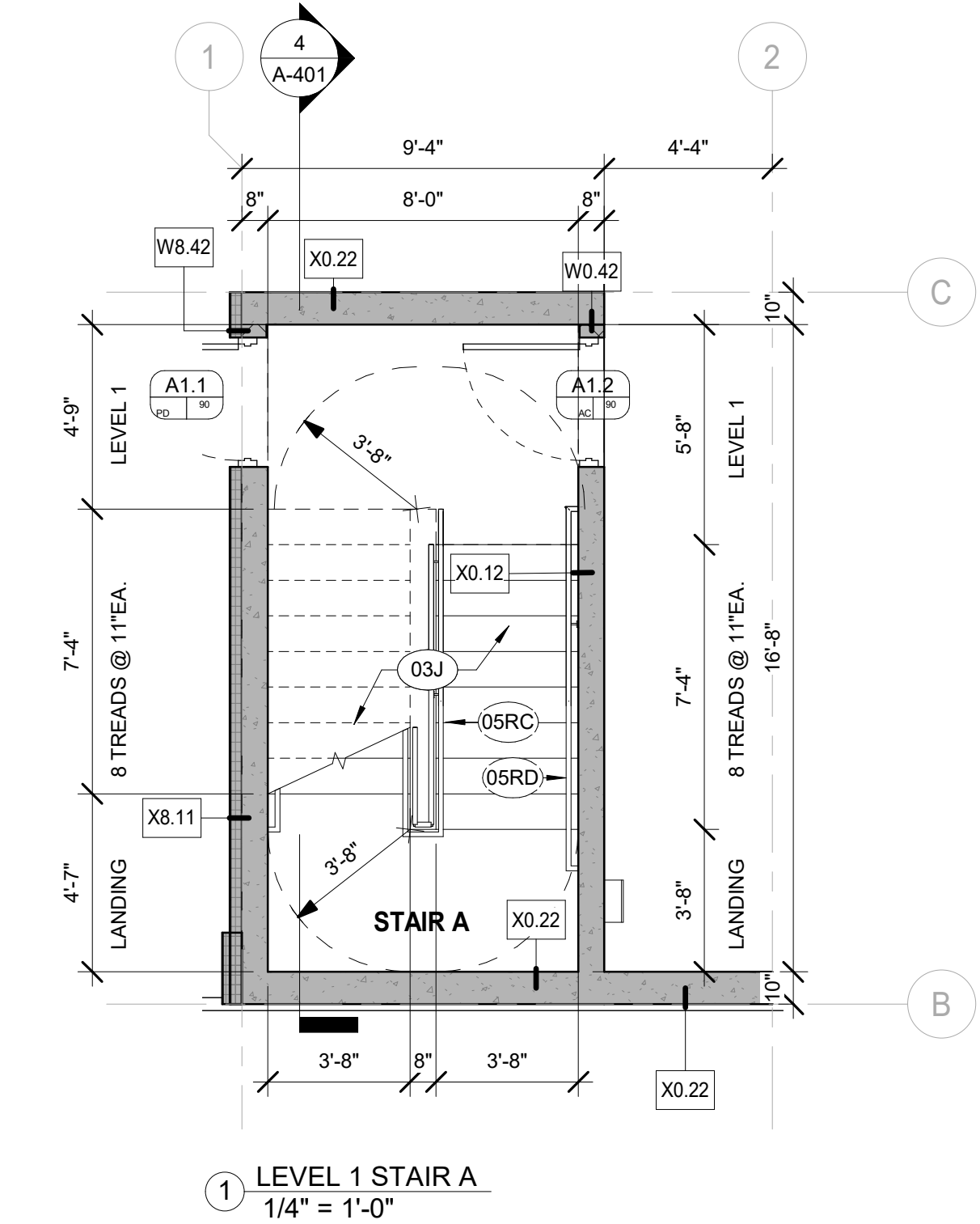
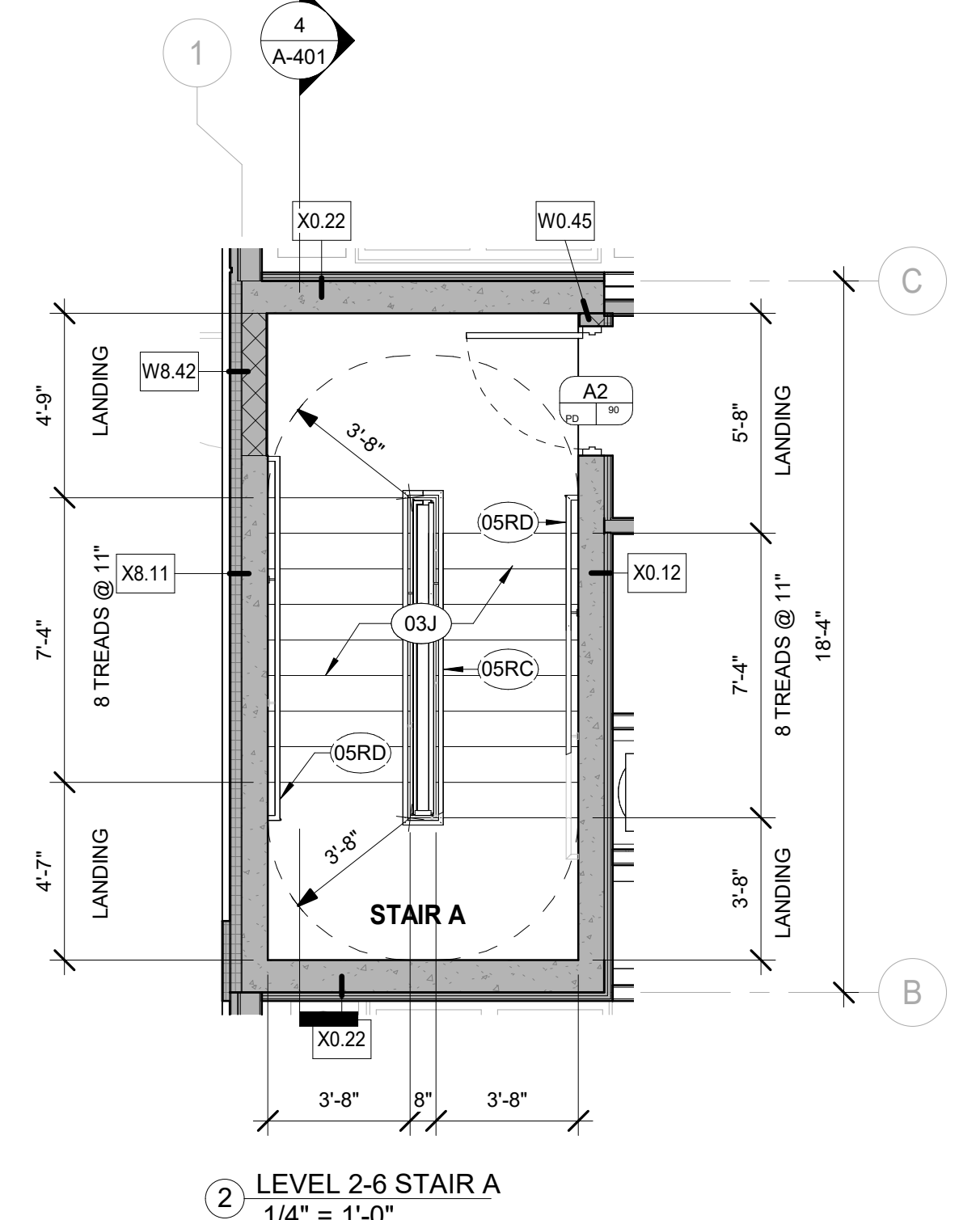
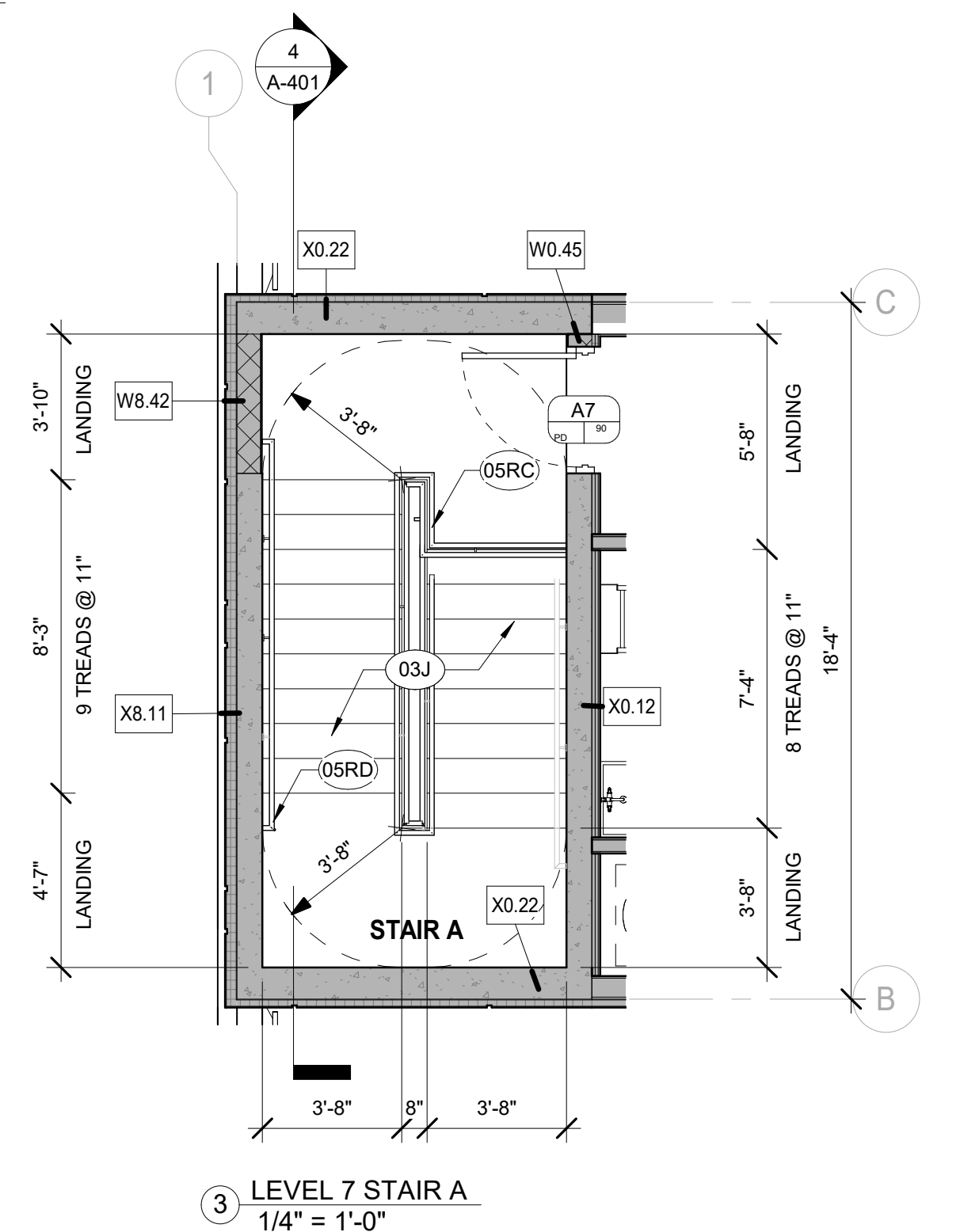
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AR93215
FLORIDA



SHEET NUMBER: **A-302**

EDITION: PERMIT SET



KEYNOTE EGEID

03J	CAST-IN-PLACE CONCRETE STAIR: TREADS SHALL BE 1" MINIMUM WITH 1" NOSING. RISERS SHALL BE OF EQUAL HEIGHT. STAIRS TO BE FINISHED WITH 1/2" MAX. THICKNESS BROOM FINISH. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
03K	CONCRETE BEAM REINFORCING TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
05	METALS
05R0C	STAIR GUARDRAIL AND HANDRAIL: 1.5" DIAMETER 42" HIGH GUARDRAIL WITH 1" SQUARE VERTICAL RIGIDITY AT 4" O.C., 1.5" DIAMETER POSTS AS REQUIRED AND CONTINUOUS HANDRAIL AT 34" - 36" AFF. REFER TO STAIR DETAIL FOR ATTACHMENT TO STRUCTURE. DESIGN TO CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. ENTIRE SYSTEM TO BE PAID FOR BY SPECIFICATIONS CONTRACTOR OR PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. REFER TO DETAILS AND ELEVATIONS FOR MORE INFORMATION
05R0	ALUMINUM HANDRAIL, 2" DIAMETER CONTINUOUS HANDRAIL WITH OFFSET WALL BRACKETS EVENLY SPACED. DESIGN TO CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. ENTIRE SYSTEM TO BE PAID FOR AS REQUIRED PER SPECIFICATIONS. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. REFER TO DETAILS AND ELEVATIONS FOR MORE INFORMATION
07P	WATER STOP PROVIDE AND INSTALL CONTINUOUS FLEXIBLE P.W. WATERSTOP AT ALL CONCRETE CONSTRUCTION JOINTS.
11F	ROOF ACCESS HATCH: PROVIDE AND INSTALL ROOF ACCESS HATCH AND 12" MIN. THICKNESS REINFORCED CONCRETE. REFER TO SPECIFICATIONS AND MANUFACTURER GUIDELINES
12	ELECTRICAL TRACTION ELEVATOR: CONFORM AND COORDINATE ALL DIMENSIONS AND REQUIREMENTS WITH ELEVATOR MANUFACTURER. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION
13	ELEVATOR HOISTWAY BEAM: PROVIDE PER ELEVATOR CAR MANUFACTURER'S REQUIREMENTS. OVERRUN SPANNING SHORT DIMENSION OF ELEVATOR HOISTWAY. REFER TO ELEVATOR MANUAL FOR ADDITIONAL INFORMATION
14	ELEVATOR RAIL ATTACHMENT BEAMS BETWEEN ELEVATORS LOCATED VERTICALLY ROUGHLY AT EACH FLOOR LANDING, IN ELEVATOR PIT AND ELEVATOR HOISTWAY. COORDINATE WITH ELEVATOR MANUFACTURER AND HORIZONTAL SPACING WITH ELEVATOR MANUFACTURER.
15	IN-WALL CONTROLLER: ELEVATOR N-WALL CONTROLLER. REFER TO ELEVATOR MANUAL FOR ADDITIONAL INFORMATION FOR INSTALLATION AND MAINTAINING UL WALL RATING
23	SUMP PUMP: ELEVATOR SUMP PUMP LOCATED WITHIN SUMP PIT. REFER TO PLUMBING DRAWINGS FOR SIZE AND INSTALLATION